

August 20, 2018

Mr. John Simpkins and Cindy Kramer
2784 Fairfield Road
Gettysburg, PA 17325

(717)353-6143

Job Number: 5707

Home Improvement Contractor Registration Number: PA000005

Attorney General Bureau of Consumer Protection Toll Free Number 1-888-520-6680

We herewith submit proposal for materials and labor to be supplied at the sole request and order of:

Scope of Work:

KITCHEN RENOVATION

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01.0145 - Material pick up and delivery per phase - 1 \$P

01.0175 - Site supervision per phase - 1 \$P

SITE PREPARATION

02.326. - Interior demo - 0 EA

Owner to do all demo (cabinet/countertop/drywall removal) prior to starting project.

PLUMBING

14.998 - Plumbing fixtures - 1 QP

Install new sink, faucet & drain.

1ea - Kohler K-6545-4U-FD Dickinson apron front undermount sink - Color: Cane Sugar

1ea - Jalco 2804AB Brass adjustable sink strainer - Color: Antique Brass

1ea - Wasterstone 5600-DAB PLO Pulldown faucet, standard reach - Color: Distressed Antique Brass

Owners initials CK

Owner's Initials _____

Contractors Initials CK

GCD Construction, Inc.
6530 Derry Street
Harrisburg, PA 17111

(717) 564-3039 Office
(717) 564-7523 Fax
www.deimlerfamilyconstruction.com

14.999 - Plumbing - trade contractor quote - 1 EA
Disconnect existing sink.
Install new sink and faucet.

ELECTRICAL

16.997 - Electrical Fixtures - 1 EA
Supply the following electrical fixtures:
Progress recessed lighting
WAC undercabinet and incabinet LED tape light with transformer
OWNER to provide hanging fixtures.

16.998 - Electrical inspection - 1 EA

16.999 - Electrical - 1 EA

All wiring is to comply with local electrical code.

All wiring is to be inspected, approved, and placed in service.

Electrical boxes are to be plastic (unless otherwise. The total number of new and/or relocated electrical boxes is to be 16

NOTE: 1 box = 1 receptacle or 1 light fixture or 1 switch or 1 telephone or 1 CATV Dimmers are not included as a box. The dimmer switch is included with the electrical fixture allowance.

NOTE: Boxes have a value of \$89.00/ box. Outlet and switch cover plates to be plastic.

INTERIOR WALLS

18.206. - Ceramic tile backsplash - 1 QP

Install new ceramic backsplash including medallion above stove.

Mfrg'r: Seneca Tiles

Series: Handmold

Style: Seneca Select

Color: Smoke

Size: 2-1/4" x 8"

Pattern: Brick lay

Grout: Laticrete Epoxy #12

Color: T.B.D.

Medallion: An allowance of \$400.00 has been included for the medallion.

CEILING COVERING

19.999 - Drywall - 1 EA

Install new drywall on the walls and ceiling of the kitchen and eating area.

MILLWORK AND TRIM

20.002. - Base trim - 22 LF

Install new base trim in the kitchen/eating area.

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CABINETRY

21.432. - Granite - 1 QP

Granite countertops with built-up edge profile and bump-out at kitchen sink.

Color: Blue Dunes

Finish: Leather

Thickness: 3cm (includes material for stacked edges)

Edge Profile: Ogee edge (NOT BUILT UP/LAMINATED EDGE)

Drytreat natural stone

Splay corner

21.999 - Cabinetry - 1 EA

Install new Tedwood custom cabinetry in the kitchen as per new layout.

Wood species: Maple

Door style: Hancock full overlay

Paint color and glaze to be Eggshell with light brown shadow on the perimeter cabintry and Fortress McHenry on the island and hutch cabinetry.

PAINTING

24.999 - Painting - 1 EA

All painting labor and materials will be supplied by the Contractor. Painting will be two coats of one color on the walls and ceilings and 3 coats on the trims. NOTE: Additional charges will be made if more than two colors are used in the same room.

CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P

Clean up and haul away all debris resulting from the job.

NOTE: Owner will provide a dumpster for all debris removal

BATH RENOVATION

=====

PLANS AND PERMITS

01.014 - Material pick up and delivery per phase - 1 \$P

01.018 - Site supervision - 1 \$P

On site and coordination supervision

SITE PREPARATION

02.313. - Demo - 16 HR

Remove the existing tub/shower.

Remove the existing wall between toilet/shower room and vanity area (approximately 4')

Remove the tile floor covering

Remove the existing toilet and vanity

PLUMBING

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14.997 - Plumbing - service - 24 HR

Install new toilet

Install new vanity/top/faucets

Install new tub

Install new tub/shower faucet

14.998 - Plumbing fixtures - 1 QP

Install new plumbing fixtures.

Vanity:

2ea - Moen TS42114ORB Weymouth 2 handle widespread cross handle lav faucet - Color: Oil Rubbed Bronze

2ea - Moen 69000 M-Pact rough-in valve for faucet

2ea - Amesta 0614.000.021 Studio Unermount china bowl - Color: Bone

Toilet:

1ea - Toto MS974224CEFG#03 Guinevere one piece skirted toilet w/slow close seat - Color: Bone

1ea - Jalco 9231-ORB Trip lever - Color: Oil Rubbed Bronze

Tub/Shower:

1ea - Amesta 2461002.021 Cambridge 60"x32" Integral apron America Americast Right drain tub/shower - Color: Bone

1ea - Moen 90480ORB tub drain - Color: Oil Rubbed Bronze

1ea - Moen TS32104ORB Weymouth tub/shower trim kit - Color: Oil Rubbed Bronze

1ea - Moen 62300 IPS T/S Posi-Temp valve

Accessories:

1ea - CSI YB8408ORB Pivoting paper holder - Color: Oil Rubbed Bronze

1ea - CSI YB8424ORB 24" Weymouth towel bar - Color: Oil Rubbed Bronze

1ea - CSI YB8486ORB towel ring - Color: Oil Rubbed Bronze

14.999 - Glass Shower Enclosure - 1 QP

Install new double door hinged shower glass enclosure

3/8" Heavy glass enclosure - Clear glass

Oil Rubbed Bronze hardware

Diamon-Fusion Glass Coating

ELECTRICAL

16.115. - Single-pole switch - 1 EA

16.122. - Recessed fixture - 3 EA

Install new recessed fixture in the shower area and tub area.

16.997 - Electrical Fixtures - 1 EA

Owner to provide Vanity Light fixtures

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INTERIOR WALLS

18.202. - Ceramic Tile in tub/shower - 1 QP

Install ceramic tile int tub/shower.. 1/2" cement board. Install waterproofing membrane. Set ceramic tile in thin set mortar Grout with spectralock epoxy grout

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 6"x12" brick lay

Grout: Laticrete Epoxy #12

Color: T.B.D.

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 12"x12" Sheet (Basket Weave)

1/2"x12" Pencil Liner

Grout: Laticrete Epoxy #12

Color: T.B.D.

18.400. - drywall - 1 EA

repair drywall in the bathroom.

CABINETRY

21.432. - Granite - 1 QP

NO Granite has been included in the agreement for the specifications below due to wanting to reselect the stone. Once the stone color is selected, the granite will be priced using the secifications below and a change order will be issued;

21.999 - Cabinetry - 1 EA

Install new Tedwood custom cabinetry in the kitchen as per new layout.

Wood species: Maple

Door style:Hancock full overlay

Paint color and glaze to be Fortress McHenry

FLOOR COVERING

23.222. - Ceramic tile floor - 1 QP

Install ceramic tile on bathroom floor ditramat underlayment Thin set mortar Set ceramic tile, Grout with spectralock epoxy grout.

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 12"x12"

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Pattern: Diagonal
Grout: Laticrete Epoxy #12
Color: T.B.D.

PAINTING

24.999 - Painting - 1 EA
Paint the bathroom walls and ceiling (2 coats).

CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P
Clean up and haul away all debris resulting from the job.
NOTE: Owner will provide a dumpster for all debris removal

LAUNDRY ROOM

=====

PLANS AND PERMITS

01.0145 - Material pick up and delivery per phase - 1 \$P

01.0175 - Site supervision per phase - 1 \$P

SITE PREPARATION

02.326. - Interior demo - 0 EA
Owner to do all demo (cabinet/countertop) prior to starting project.

PLUMBING

14.998 - Plumbing fixtures - 1 EA
Supply new Kohler cast iron drop in deep sink and Kohler deep sink faucet with pull out spray.
NOTE: Final selection to be determined. An allowance of \$1,500.00 has been included for these items.

14.999 - Plumbing - trade contractor quote - 1 EA

Relocate plumbing for sink and washer hookup.

Install new sink and faucet.

CABINETRY

21.999 - Cabinetry - 1 EA
Install new Tedwood cabinetry in the laundry room (wall cabinetry above washer/dryer and deep sink and deep sink cabinet). Door style: Hancock full overlay
Paint color and glaze to be Eggshell with light brown shadow

FLOOR COVERING

23.999 - Ceramic Tile flooring - 1 QP

Mfg'r: Florida

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Series: Pietra Art Travertine
 Style: Travertine
 Color: P010 Silver
 Size: 12"x12"
 Pattern: Diagonal
 Grout: Laticrete Epoxy #12
 Color: T.B.D.

PAINTING

24.999 - Painting - 1 EA

All painting labor and materials will be supplied by the Contractor. Painting will be two coats of one color on the walls and ceilings and 3 coats on the trims. NOTE: Additional charges will be made if more than two colors are used in the same room.

CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P

Clean up and haul away all debris resulting from the job.

NOTE: Owner will provide a dumpster for all debris removal

Mr. John Simpkins and Cindy Kramer hereinafter referred to as Owner, agrees to have work to be performed at premises set forth above, according to the "Scope of Work" and the attached General Conditions, and approved plans (if applicable). The "Scope of Work" and approved plans shall take precedence provided they are not contrary to the local building code or other applicable local, state, and federal law:

We propose to furnish and install the above "Scope of Work" and the attached General Conditions for the Total Sales Price of: \$126,258.04

Payment to be made as follows:

| | |
|---------------------|---------------------|
| TOTAL AMOUNT | \$126,258.04 |
| DEPOSIT | \$0.00 |
| DESIGN CREDITS | \$6,250.00 |
| ADD'L TAX | \$0.00 |
| BALANCE | \$120,008.04 |

Balance of payment to be made as follows:

| | |
|--------------------------|-------------|
| Upon Acceptance | \$36,608.04 |
| Start of construction | \$12,000.00 |
| Start of drywall hanging | \$12,000.00 |
| Start of cabinet setting | \$22,000.00 |
| Start of countertops | \$10,000.00 |
| Start of floor covering | \$10,000.00 |
| Start of painting | \$12,000.00 |
| Completion of Job | \$5,400.00 |

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| | |
|---|--|
| Contractor's Acceptance: | Owner's Acceptance |
| Company Representative _____ Date <u>Casey Doh</u> | The foregoing terms, specifications, plans as attached (if applicable) and conditions are satisfactory and are hereby agreed to and made part of this agreement. |
| This proposal may be withdrawn if not accepted within 30 days | GCD Construction, Inc., d.b.a Deimler Family Construction is hereby authorized to do the work as specified and payment will be made as outlined above. |
| | The Owner upon signing this agreement represents and warrants that he is the owner of the aforesaid premises and that he/she has read, and agrees to, this agreement and Terms and General Conditions (below). |
| | Owner <u>Cynthia Doh</u> Date <u>August 20, 2018</u> |
| | Owner _____ Date _____ |

GENERAL CONDITIONS

NOTICE OF CANCELLATION/RIGHT OF RESCISSION:

YOU, THE OWNER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION WITHOUT PENALTY REGARDLESS OF WHERE THE CONTRACT WAS SIGNED. SEE ATTACHED 'NOTICE OF CANCELLATION'** FORM FOR AN EXPLANATION OF THIS RIGHT – Attachment A

**This provision is inapplicable in transactions where emergency work is authorized under the section 7 of the act of December 17, 1968 (P.L. 1224 No. 387), known as the Unfair Trade Practices and Consumer Protection Law and the proper form is signed by Contractor and Owner.

SPECIAL ORDER MATERIALS ARE NON-STOCK ITEMS THAT CANNOT BE RETURNED ONCE ORDERED BY CONTRACTOR.

Any special order materials for the project are indicated above and the agreed to payment terms are as follows: When Contractor orders the materials, Owner shall, if required by Contractor, no later than 2 business days after receipt of Contractor's invoice pay the entire amount of special order materials in addition to any deposit already received. Owner acknowledges that special order materials cannot be returned once ordered by Contractor and Owner is solely responsible for the cost of the materials whether or not they are used for the Project. If the Contract is cancelled for any reason, the cost of special order materials will not be refunded by Contractor and the materials will be given to Owner. The special order materials will not be ordered before expiration of the Owner's 3 day Right of Cancellation.

SPECIAL CLAUSES:

Special clauses intended by Contractor and Owner to be made a part of this Contract shall be checked below and are identified as follows:

____ Contractor's Limited Warranty – Attachment B

Owners initials CR

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- ____ Notice of Claim and Right to Repair – Attachment C
- ____ Arbitration – Attachment D
- ____ Waiver/Release of Liens to be given to Owner at final payment.

Performance of Work

Deimler Family Construction (herein after referred to as Contractor) agrees to complete the work in a substantial and workmanlike manner but is not responsible for:

- a. Failures or defects that result from work done by others prior to, at the time of, or subsequent to work done under this Agreement,
- b. Failure to keep gutters, downspouts and valleys reasonably clear of leaves or obstructions,
- c. Failure of the Owner to authorize Contractor to undertake needed repairs or replacement of fascia, vents, defective or deteriorated roofing or roofing felt, trim, sheathing, rafters, structural members, siding, masonry, caulking, metal edging, or flashing or any type, or any act of negligence or misuse by the Owner or any other party.

Trade contracts

Contractor reserves the right to subcontract any and all of the work described in this contract. Agreements made with mechanics or trade contractors on the job by anyone other than a Deimler Family Construction representative are not recognized. No statement, arrangement or understanding, expressed or implied not contained herein will be recognized. Contractor shall pay all valid bills and charges for material and labor arising out of the construction of the structure for this project.

Insurances

Contractor:

Contractor and all Trade Contractors employed by Contractor shall, at his own expense, carry all workmen's compensation insurance and public liability insurance necessary for the full protection of Contractor and Owner during the process of the work. At the time of signing this contract, Contractor maintains the following amount of insurance coverage: \$1,000,000.00 each occurrence (personal injury liability insurance) and \$1,000,000.00 each occurrence (property liability insurance) - \$2,000,000.00 aggregate which exceeds the PA State Minimum requirements of \$50,000.00. Certificates of such insurance shall be filed with Owner and with said Lien Holder if Owner so requires.

Owner:

Owner agrees to procure at his own expense, prior to the commencement of any work, fire insurance with Course of Construction, All Physical Loss and Vandalism and Malicious Mischief clauses attached in a sum equal to the total cost of the improvements. Such insurance shall be written to protect the Owner and Contractor, and Lien Holder, as their interest may appear. Should Owner fail so to do, Contractor may procure such insurance, as agent for Owner, but is not required to do so, and Owner agrees, on demand, to reimburse Contractor in cash for the cost thereof.

Marketing

Owner hereby grants to Contractor the right to display signs and advertise at the building site. Owner further grants contractor the right to use pictures, artist's depictions, or the like, of the work to be performed in advertisement without further authorization from the owner and no compensation to the owner.

1. STANDARD EXCLUSIONS:

This Agreement does NOT include the following unless specifically stated to the contrary in the General Scope of Work or on the approved plans:

- a. engineering fees;
- b. testing of soil or other materials;

Owners initials SK

Owner's Initials _____

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- c. public or private utility connection fees;
- d. surveying of property boundaries;
- e. handling, removal or disposal of any materials classified as hazardous by local, state or federal authorities (e.g. asbestos, lead paint, etc.);
- f. custom milling of any wood for use in project;
- g. moving Owner's property around the site;
- h. labor or material required to repair or replace any Owner-supplied materials;
- i. repair of concealed underground utilities damaged during construction which were not located on prints or physically staked out by Owner/utilities;
- j. final construction cleaning (Contractor will leave site in a "broom clean" condition);
- k. landscaping and irrigation work of any kind;
- l. temporary sanitation, power, water, or fencing;
- m. removal of soil under existing structure in order to obtain code required clearance space;
- n. removal of filled ground or rock or any other materials not removable by ordinary hand tools (unless heavy equipment and/or explosive demolition is specified in Scope of Work section above);
- o. correction of existing out-of-plumb or out-of-level conditions in existing structure;
- p. correction of concealed substandard framing;
- q. rerouting/removal of vents, pipes, ducts, structural members, wiring conduits or steel mesh which may be discovered in the course of construction;
- r. removal and replacement of existing materials damaged due to rot or insect infestation;
- s. failure of surrounding part of existing structure, despite Contractor's good faith efforts to minimize damage, such as plaster or drywall cracking and popped nails in adjacent rooms, blockage of pipes or plumbing fixtures caused by loosened rust within pipes;
- t. construction of a continuously level foundation around structure (if lot is sloped more than 6 inches from front to back or side to side, Contractor will step the foundation in accordance with the slope of the lot).
- u. exact matching of existing finishes;
- v. repair of damage to roadways, driveways, or sidewalks that could occur when construction equipment and vehicles are being used in the normal course of construction;
- w. any upgrades or repairs to existing plumbing, mechanical or electrical systems.

The Owner is solely responsible for providing Contractor prior to the commencing of construction with such water and electricity at the job site as may be required by Contractor to effect the construction of the improvement covered by this contract. Owner shall provide a designated restroom during the course of construction (unless otherwise specified).

COMMENCEMENT AND COMPLETION DATES

Commencement and completion dates may be adjusted for the following reasons: inclement weather, additional time required for Change Order work, and other delays unavoidable or beyond the control of the Contractor.

CHANGE ORDERS: CONCEALED CONDITIONS AND ADDITIONAL WORK

1. Concealed Conditions: This Agreement is based solely on the observations Contractor was able to make with the structure in its current condition at the time this Agreement was executed. If additional concealed conditions are discovered once work has commenced which were not visible at the time this proposal was bid, Contractor will stop work and point out these unforeseen concealed conditions to Owner so that Owner and Contractor can execute a Change Order for any Additional Work.
2. Deviation from Scope of Work: Owner agrees to pay contractor the normal selling price for all additions, alterations, or deviations. No additional work shall be done without prior written authorization of the Owner. Any such authorization shall be on a change-order form, approved by both parties, and shall become a part of this contract. Where such additional work is added to this Contract, it is agreed that all terms and

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conditions of the Contract shall apply equally to such additional work. Any change in specifications or construction necessary to conform to existing and/or future building codes, zoning laws, or regulations of inspecting Public Authorities shall be considered additional work to be paid for by Owner as additional work. If the quantities of materials required under this contract are so altered as to create a hardship on the Contractor, the Owner shall be obligated to reimburse Contractor for additional expenses incurred. It is understood and agreed that if Contractor finds that extra concrete is required he is authorized by the Owner to pour the amount of concrete that is required by the building code or site conditions and shall promptly notify Owner of such extra concrete. Owner shall promptly deposit the cost of the required extra concrete with the Contractor. Any changes made under this Contract will not affect the validity of this document.

WORK STOPPAGE, TERMINATION OF CONTRACT FOR DEFAULT INTEREST

The time during which the Contractor is delayed in his work by (a) the acts of Owner or his agents or employees or those claiming under agreement with or grant from Owner, including any notice to the Lien Holder to withhold progress payments, or by (b) any acts or delays occasioned by the Lien Holder, or by (c) Acts of God or by (d) stormy or inclement weather which necessarily delays the work, or by (e) any strikes, boycotts, or like obstructive actions by employees or labor organizations and which are beyond reasonable control of Contractor and which Contractor cannot reasonably overcome, or by (f) extra work requested by the Owner, or by (g) failure of Owner to promptly pay for any extra work as authorized, shall be added to the time for completion by a fair and reasonable allowance. Should work be stopped for more than thirty (30) days by any or all of (a) through (g) above, the Contractor may terminate this Contract and collect for all work completed plus Contractors normal profit and overhead.

If work is stopped due to any of the above reasons (or for any other material breach of contract by Owner) for a period of fourteen (14) days, and the Owner has failed to take significant steps to cure his default, then Contractor may, without prejudicing any other remedies Contractor may have, give written notice of termination of the Agreement to Owner and demand payment for all completed work and materials ordered through the date of work stoppage, and any other loss sustained by Contractor, including normal Contractor's Profit and Overhead on the balance of the incomplete work under the Agreement. Thereafter, Contractor is relieved from all other contractual duties, including all Punch List, warranty work, and any other work contained within.

ENTIRE AGREEMENT

This Agreement, including any amendments agreed to and signed by Contractor and Owner and the notices and supplements which are attached and made a part of this Agreement, constitutes the entire agreement between Contractor and Owner. This contract supersedes all previous proposals, representations, understandings and communications among the parties, whether written or oral. No changes, additions or amendments to this Contract whatsoever are binding absent a writing signed by Contractor and Owner.

Owners initials CK

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JOHN SIMPKINS & CINDY KRAMER

2784 FAIRFIELD RD
GETTYSBURG PA 17325
Phone: (717) 353-6143

| INTERNATIONAL RESIDENTIAL BUILDING CODE 2009 | |
|--|--------------------------------------|
| LOADING | DAMAGE FROM |
| SLEEPING SPACE | 30 lb WEATHERING Severe |
| LIVING SPACE | 40 lb TERMITE Moderate |
| ROOF SNOW LOAD | 30 lb DECAY Heavy |
| WIND SPEED | 90 mph FROST LINE Slight to Moderate |
| SOIL REACTION | 2500 lb - |
| DESIGN | OTHER |
| SEISMIC CAT. | B OCCUPANCY |
| WINTER TEMP. | 0°F CONSTRUCTION TYPE |
| FLOOD HAZARD | N/A IMPORTANCE FACTOR |
| DEFLECTION: FLOORS | L/360 |
| DEFLECTION: WALLS | L/240 |

| MUNICIPALITY INFORMATION | |
|--------------------------|--|
| COUNTY: | ADAMS |
| TOWNSHIP: | HIGHLAND |
| ADDRESS: | 3641 FAIRFIELD RD GETTYSBURG PA 17325 |
| PHONE #: | (717) 677-7356 |
| SIDE: | |



| | |
|------------------------------|----------------------------|
| JOHN SIMPKINS & CINDY KRAMER | |
| 2784 FAIRFIELD RD | |
| GETTYSBURG PA 17325 | |
| PHONE: (717) 353-6143 | |
| KITCHEN | |
| COVER SHEET | |
| DRAWN | NATHAN BELIN |
| CHECKED | |
| PRINTED | Wednesday, August 26, 2020 |
| APPROVED | <i>[Signature]</i> |
| JOB NO. | 5707 |

CSI.00

INDEX OF DRAWINGS

| SHHEET | DATE | REVISION FOR PERT |
|---------------|----------|-------------------|
| CS1.00 | 06/18/19 | |
| CS1.00 | 06/18/19 | |
| CIVIL | | |
| ARCHITECTURAL | | |

| | |
|------------|---------------------------|
| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| A2.01-1.04 | PROPOSED ELEVATIONS |
| A2.01-2.05 | PROPOSED FLOORING PLANS |
| A3.01-3.00 | PROPOSED FLOORING PLANS |
| E1.01-1.03 | ELECTRICAL PLAN |
| E1.01-1.03 | ELECTRICAL PLAN |

| | |
|--------|---------------------------|
| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
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|--------|---------------------------|
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|--------|---------------------------|
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| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
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| | |
|--------|---------------------------|
| CS1.00 | COVER SHEET |
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| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
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| CS1.00 | PROPOSED ELEVATIONS |
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| CS1.00 | PROPOSED FLOORING PLANS |

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|--------|---------------------------|
| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
| CS1.00 | PROPOSED FLOORING PLANS |

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| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
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| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
| CS1.00 | PROPOSED FLOORING PLANS |

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| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
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| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
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| CS1.00 | PROPOSED FLOORING PLANS |

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| CS1.00 | COVER SHEET |
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| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
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| CS1.00 | COVER SHEET |
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| CS1.00 | PROPOSED ELEVATIONS |
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| CS1.00 | COVER SHEET |
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| CS1.00 | PROPOSED ELEVATIONS |
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| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
| CS1.00 | PROPOSED FLOORING PLANS |

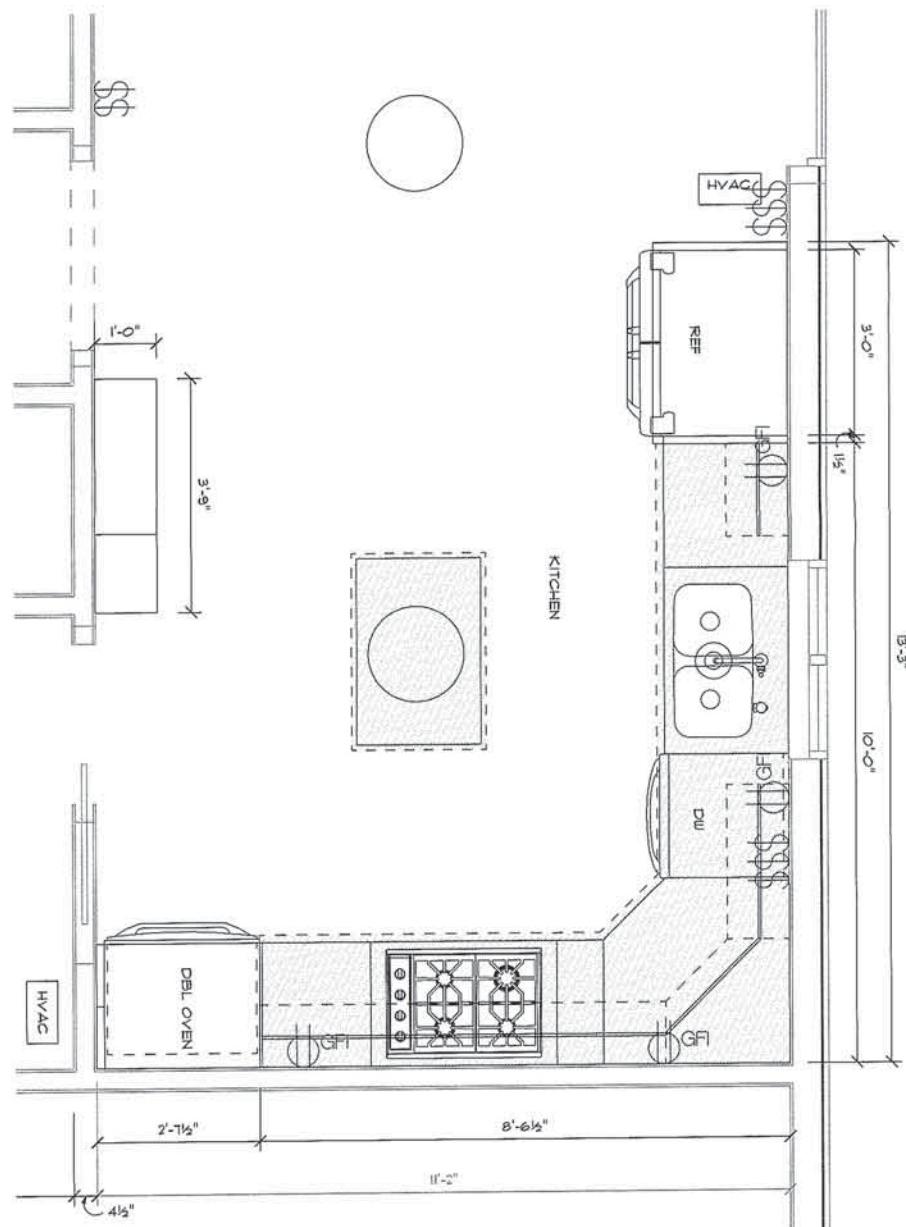
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| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1.00 | PROPOSED FLOOR PLANS |
| CS1.00 | PROPOSED ELEVATIONS |
| CS1.00 | PROPOSED FLOORING PLANS |
| CS1.00 | PROPOSED FLOORING PLANS |

| | |
|--------|---------------------------|
| CS1.00 | COVER SHEET |
| CS1.00 | EXISTING/DEMO FLOOR PLANS |
| CS1. | |

EXISTING/DEMO PLAN

SCALE: 1/2° = 1'

PROPOSED CONSTRUCTION NOTES:
REMOVE EXISTING ELECTRICAL.
REF. DUG. E.I.O FOR DETAIL.



EXISTING/DEMO PLAN

EXISTING/DEMO PLAN



REVISION DATE

| |
|--------------------------------|
| INDEX OF DRAWINGS |
| CS1.00 COVER SHEET |
| ARCHITECTURAL |
| ST-01-1-03 EXISTING DEMO PLANS |
| A1-01-1-03 PROP. FLOOR PLANS |
| A3-01-2-02 PROP. FLOORING |
| ELECTRICAL |
| EL-01-1-03 ELECTRICAL PLANS |

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IS PROHIBITED.
ALL Dimensions Are In Feet And Inches
And Are Subject To Verification On Job Site
And Adjustment If Fit Job Conditions.



PROPOSED CONSTRUCTION NOTES:
REMOVE EXISTING VANITY INCLUDING COUNTER,
SINKS, FAUCETS & DRAINS.
REMOVE EXISTING TUB/SHOWER UNIT INCLUDING
FIXTURES.
REMOVE EXISTING TOILET & ACCESSORIES.
REMOVE EXISTING WALL AS SHOWN INCLUDING
DOOR, HARDWARE & TRIM.
REMOVE EXISTING FLOORING.
REF. DUG. A3.03 FOR DETAIL.
RELOCATE ELECTRICAL AS NEEDED.
REF. DUG. EL.03 FOR DETAIL.

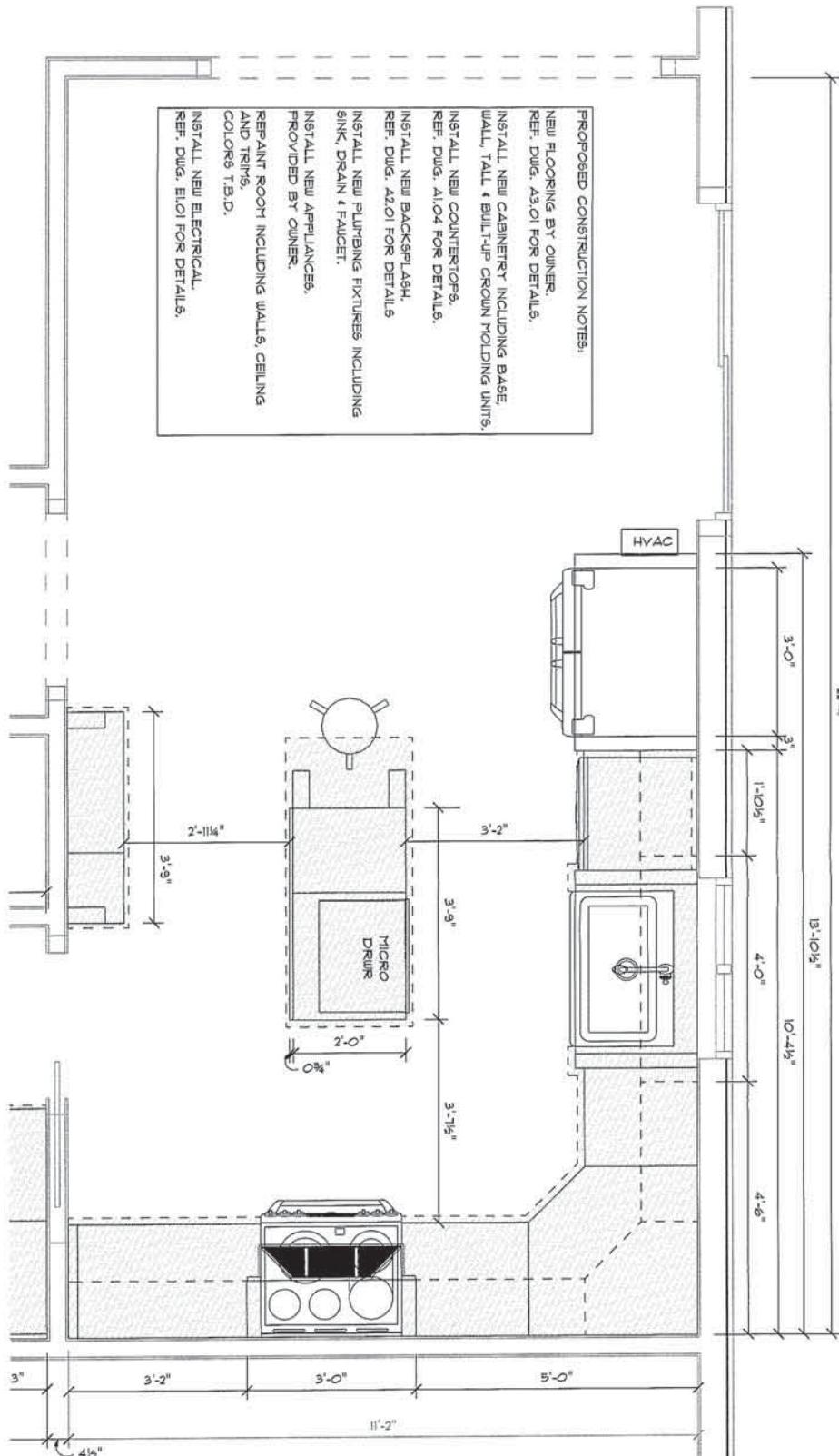
EXISTING/DEMO PLAN 01/03

SCALE: 1/2" = 1'-0"

D1.03

PROPOSED PLAN

PROPOSAL



REVISION DATE

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All dimensions are in feet, unless otherwise specified.
All drawings are to be drawn according to ASCE 7-16
ASME A13.1-16, except where otherwise indicated.
As-built drawings to be furnished by contractor
As-built drawings to be furnished by contractor
As-built drawings to be furnished by contractor

INDEX OF DRAWINGS
C81-00 COVER SHEET

ARCHITECTURAL
01-01-03 EXISTING FLOOR PLANS
A1-01-01 PROP. TILES & CERAMICS
A1-01-02 PROP. FLOOR COVERS
A3-01-03 PROP. FLOORING

ELECTRICAL
E1-01-03 ELECTRICAL PLANS

PROPOSED CONSTRUCTION NOTES:

INSTALL NEW FLOORING.
REF. DUG. A3.02 FOR DETAILS.

INSTALL NEW VANITY INCLUDING COUNTERTOP,
SINKS, FAUCETS & DRAINS.
REF. DUG. A1.04 FOR DETAIL.

INSTALL NEW TOILET.

INSTALL NEW TUB/SHOWER BASE INCLUDING
SHOWER FIXTURES.

INSTALL NEW BATHROOM FIXTURE ACCESSORIES.

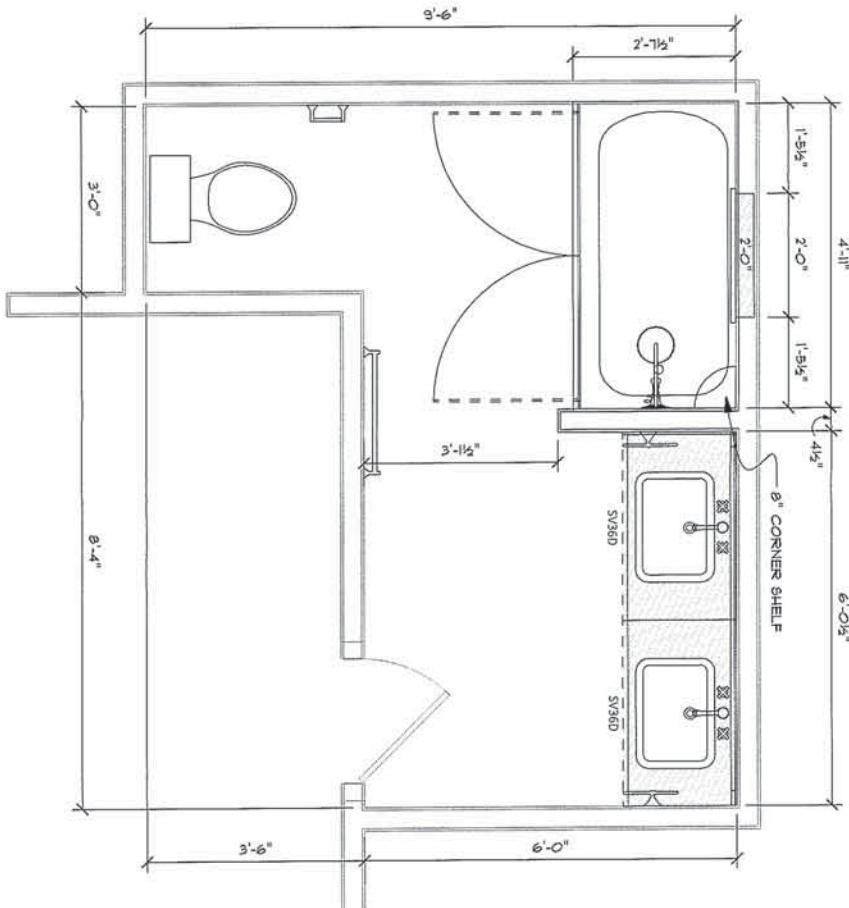
INSTALL NEW TILE SHOWER SURROUND INCLUDING
RECESSED NICHES, SOLID SURFACE SILL & 8"

REF. DUG. A2.04 FOR DETAILS.

INSTALL NEW PIVOTING PANEL SHOWER DOORS
INCLUDING HARDWARE. GLASS FINISH T.B.D.
HARDWARE FINISH: OIL RUBBED BRONZE.

REPAINT ROOM INCLUDING WALLS, CEILINGS,
AND TRIMS.

INSTALL NEW ELECTRICAL.
REF. DUG. E1.03 FOR DETAILS.



PROPOSED PLAN
A1.03

SCALE: 1/2" = 1'-0"

| | |
|----------|-------------------------------------|
| DRAWN | NATHAN BELLMAN |
| CHECKED | |
| HIGHLED | Wednesday, August 26, 2020 |
| APPROVED | <input checked="" type="checkbox"/> |
| JOHN NO. | 5707 |

A1.03

REVISION DATE

PROPOSED CONSTRUCTION NOTES:

BATHROOM -
MATERIAL: GRANITE
COLOR: STAR BEACH
FINISH: POLISHED
SIZE: 30"

NICHE EDGE PROFILE: LEVEL O
VANITY EDGE PROFILE: FULL BULLNOSE BOTTOM
KITCHEN & LAUNDRY -
MATERIAL: GRANITE
COLOR: BLUE DUNES
FINISH: LEATHER
EDGE PROFILE: FULL BULLNOSE BOTTOM
SINK: SMALL Ogee TOP

COUNTERTOPS PLAN

SCALE: 1/2" = 1'-0"

| | | | | |
|--------------|----------------------------|--------------------------|---|--|
| A1.04 | | KITCHEN | DEIMLER FAMILY | INDEX OF DRAWINGS |
| DRAWN | NATHAN BELLMAN | DESIGN BUILD REMODEL | ARCHITECTURAL PLANS | COPYRIGHT © 2012 BY GCD CONSTRUCTION, INC. |
| CHECKED | | PHOTOGRAPHS | ALL PLANS AND SPECIFICATIONS MADE THE PROPERTY OF GCD CONSTRUCTION, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN SPECIFICATIONS MADE BY GCD CONSTRUCTION, INC. Plain GCD | |
| PRINTED | Wednesday, August 26, 2009 | PROP. FLOOR PLANS | CONTRACTOR: GCD CONSTRUCTION, INC. Plain GCD | |
| APPROVED | OK | PROP. FLOOR CO. | LIAISON FOR ANY USE OF THESE PLANS OR SPECIFICATIONS OTHER THAN BY GCD CONSTRUCTION, INC. Plain GCD | |
| JOHN NO. | 5707 | PROP. FLOORING | ALL DIMENSIONS ARE IN FEET. DRAWINGS ARE NOT TO SCALE. ADJUSTMENT TO FLOOR CONDITIONS | |
| SHEET | | ELECTRICAL PLANS | ADJUSTMENT TO FLOOR CONDITIONS | |

JOHN SIMPKINS & CINDY KRAMER
2784 FAIRFIELD RD
GETTYSBURG PA 17325
PHONE: (717) 353-6143

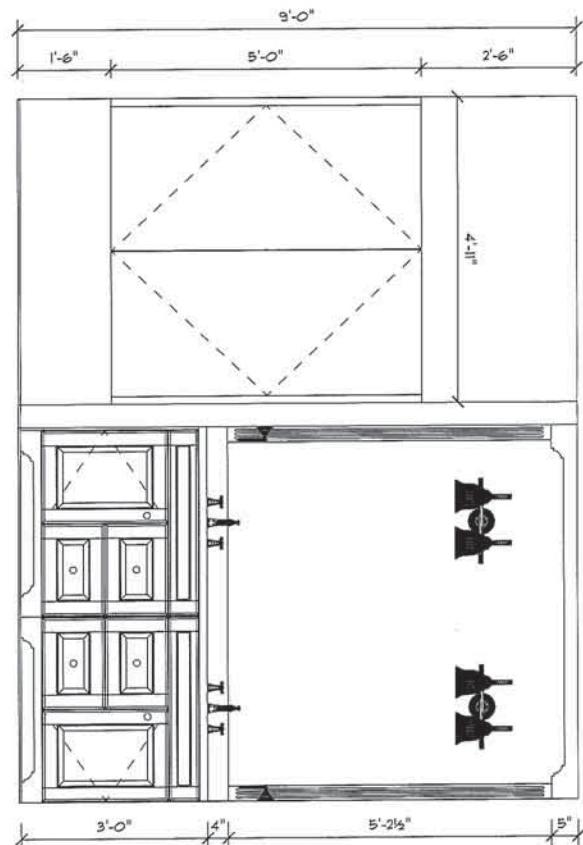
PRINTED FROM www.gcdconstruction.com

117-04330 650 Henry St. Harrisburg, PA 17111

PROPOSED ELEVATIONS

SCALE: 1/2" = 1'-0"

| | |
|----------------------|----------------------|
| VANITY TOP: | GRANITE |
| COLOR: | GRANITE STAR BEACH |
| THICKNESS: | 3CM |
| CUSTOM EDGE PROFILE: | FULL BULLNOSE BOTTOM |
| SPASH HEIGHT: | 4" |
| | SMALL OGEE TOP |



| | | | |
|----------|---------------------|-----------------------|--|
| A2.05 | | INDEX OF DRAWINGS | |
| SHEET: | | CS1.00 COVER SHEET | |
| DRAWN | NATHAN BELLMAN | ARCHITECTURAL | CONTRACTOR'S COPY |
| CHECKED | | EXISTING/GROUND PLANS | GCD CONSTRUCTION INC. |
| PRINTED | W/COPY, AUGUST 2018 | PROP. FLOOR PLANS | ALL PLANS AND SPECIFICATIONS ARE THE PROPERTY OF GCD CONSTRUCTION INC. |
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JOHN SIMPKINS & CINDY KRAMER
2784 FAIRFIELD RD
GETTYSBURG PA 17325
PHONE: (717) 253-6143

KITCHEN

DESIGN | BUILD | REMODEL

DEIMLER FAMILY CONSTRUCTION

HIC #11-20844-339 www.gcdconstruction.net
6530 Penn St Harrisburg PA 17111

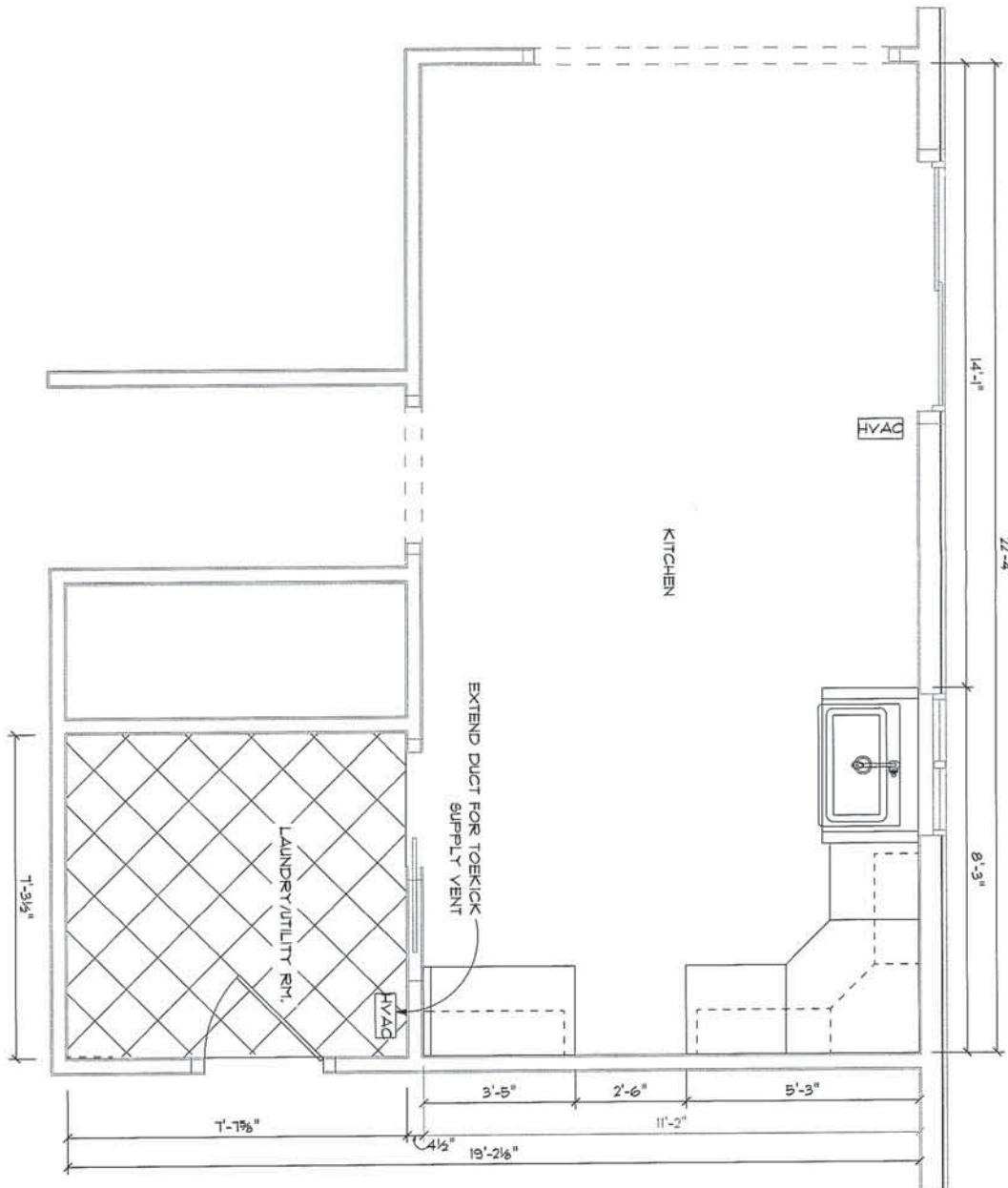
PRINTED BY: GCD CONSTRUCTION INC.

REVISION DATE

REVISION DATE

FLOORING PLAN
A3.01

SCALE: 30' = 1'-0"

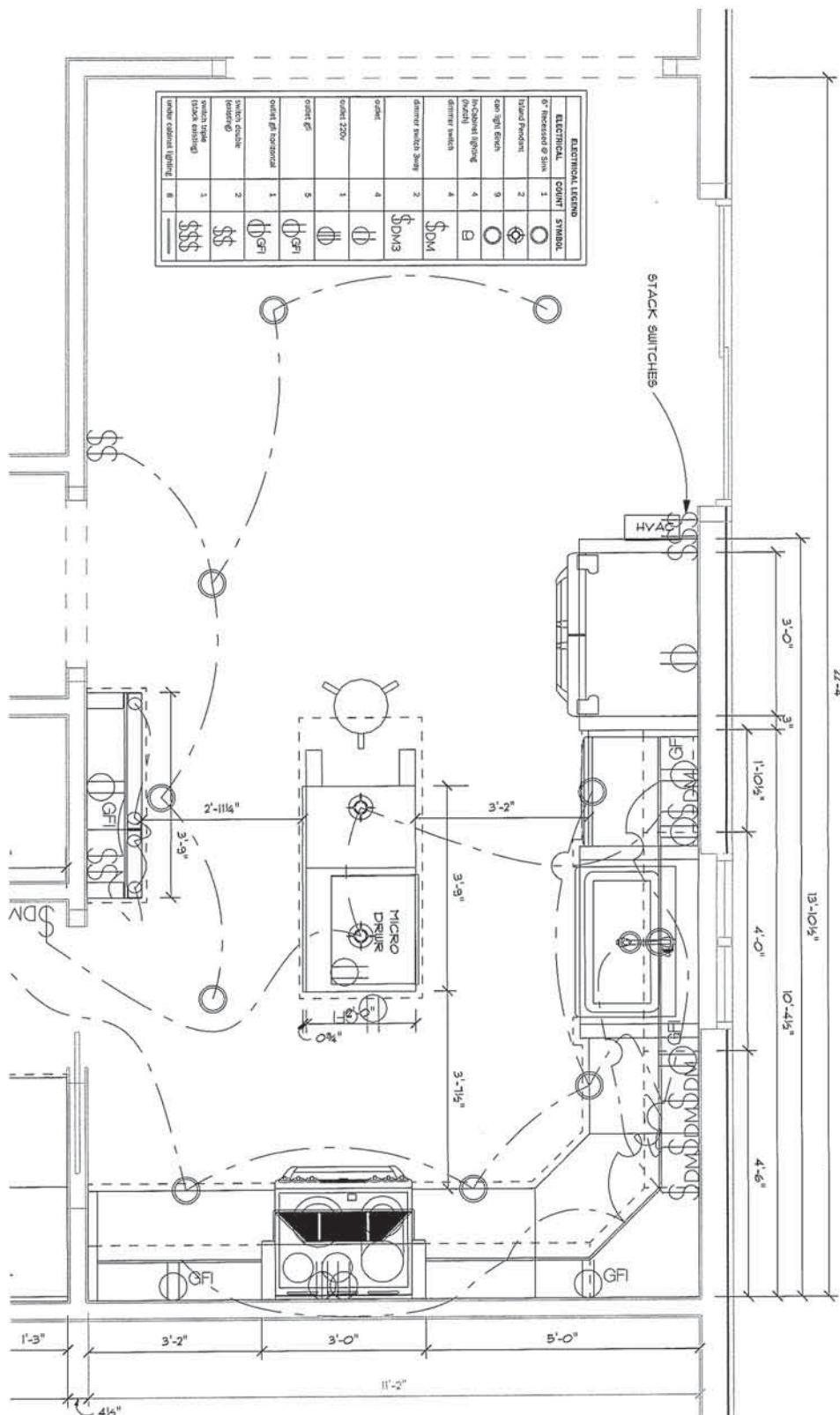


| | | | |
|---|---|--|--|
| JOHN SIMPKINS & CINDY KRAMER 2784 FAIRFIELD RD GETTYSBURG PA 17325 PHONE: (717) 353-6143 | | DEIMLER FAMILY  | |
| DRAWN | NATHAN BELLM | DESIGN BUILD REMODEL | INDEX OF DRAWINGS |
| CHECKED | | HC Reg. # 4100005 | C51 GO COVER SHEET |
| PRINTED | W/CONE DAY, AUGUST 2005 | www.globeconstruction.com | ARCHITECTURAL DT-01-1 OS ESTIMATING PLANS |
| APPROVED |  | 6330 Harry St. Harrisburg PA 17111 | A1-01-1 CM PROP. FLOOR PLANS |
| JOB NO. | 57/07 | 42-01-2 PROP. ELEVATIONS | A2-01-3 PROP. FLOORING |
| SHEET | | ELECTRICAL E1-01-1-03 ELECTRICAL PLANS | A3-01-4 PROP. ROOFING |

A3.01

ELECTRICAL PLAN
1 OF 1

SCALE: 1/2" = 1'-0"



INDEX OF DRAWINGS
E81.GD COVER SHEET
ARCHITECTURAL
07-01-103 EXTINGUISHER PLANS
07-01-103 PROP. FLOOR PLANS
A-01-103 PROP. ELEVATIONS
A-01-103 PROP. FLOORINGS
ELECTRICAL
E7-01-03 ELECTRICAL PLANS
ATTACHMENT TO JOB CONDITIONS
AND SUBORDINATE TO JOB SITE
ADJUSTMENT TO JOB CONDITIONS

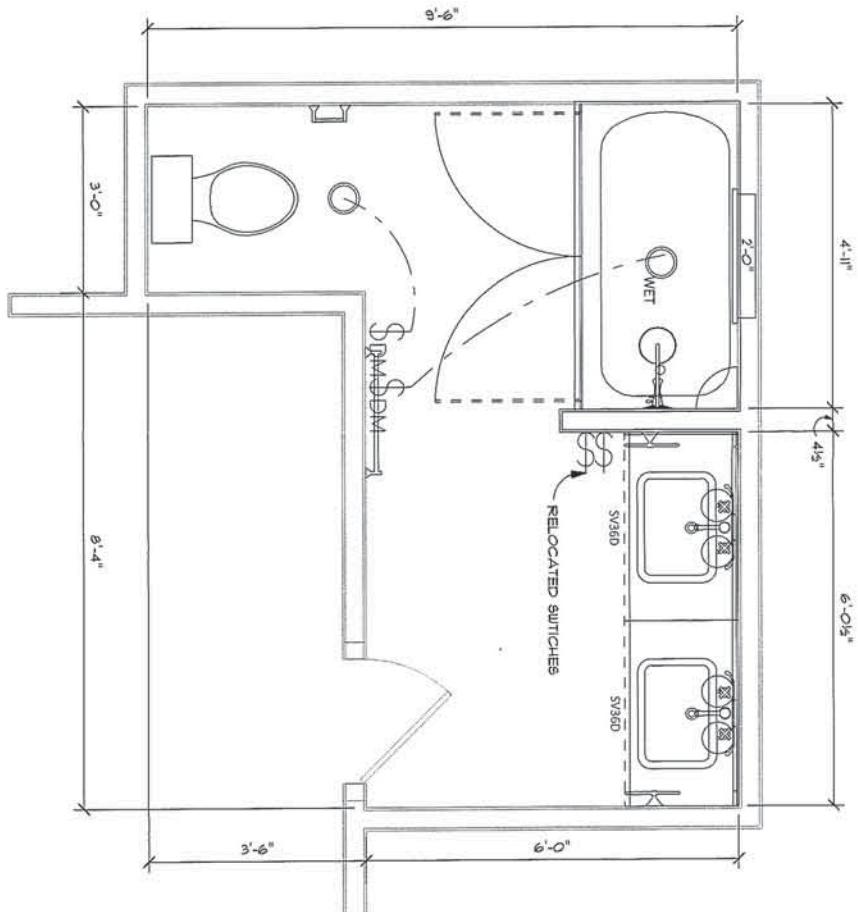
REVISION DATE

| | |
|----------|----------------------------|
| DRAWN | NATHAN BELM |
| CHECKED | |
| PRINTED | Wednesday, August 26, 2020 |
| APPROVED | |
| JOB NO. | 5707 |



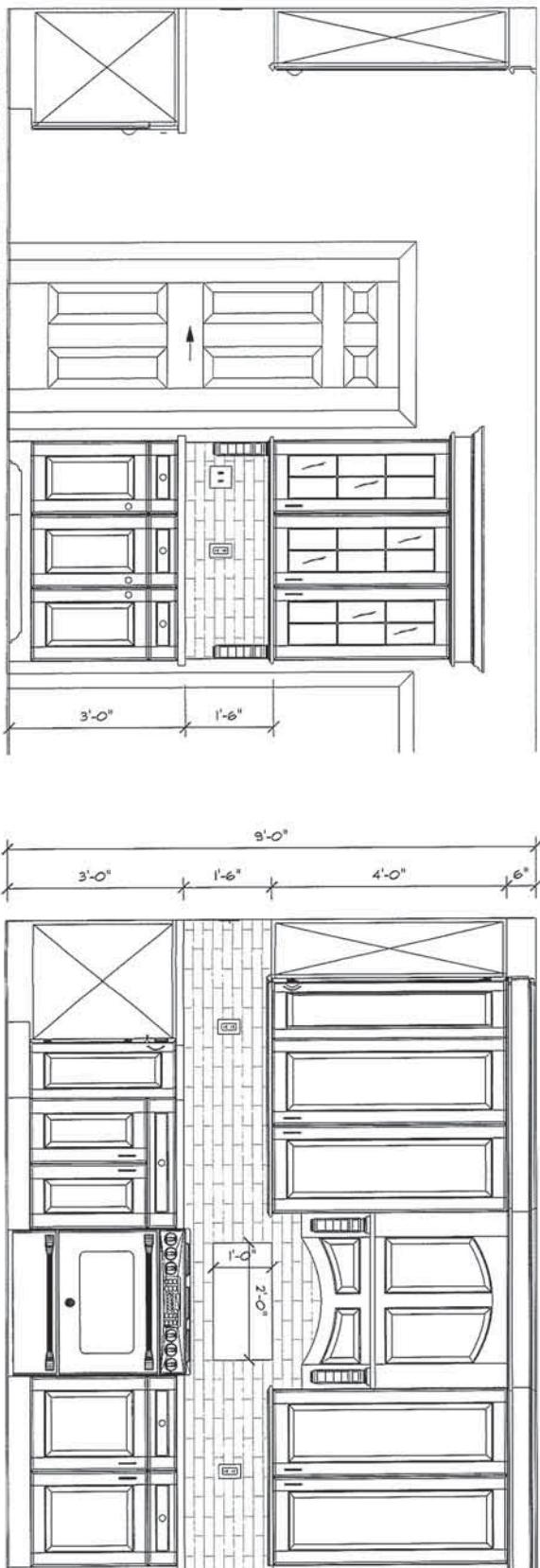
ELECTRICAL PLAN

| ELECTRICAL LEGEND | | |
|------------------------------------|-------|--------|
| ELECTRICAL | COUNT | SYMBOL |
| can light 6inch | 1 | |
| can light 6inch wet location | 1 | |
| dimmer switch | 2 | |
| switch double (relocated existing) | 1 | |
| vanity lights | 2 | |



PROPOSED ELEVATIONS

SCALE: 1/2" = 1'-0"

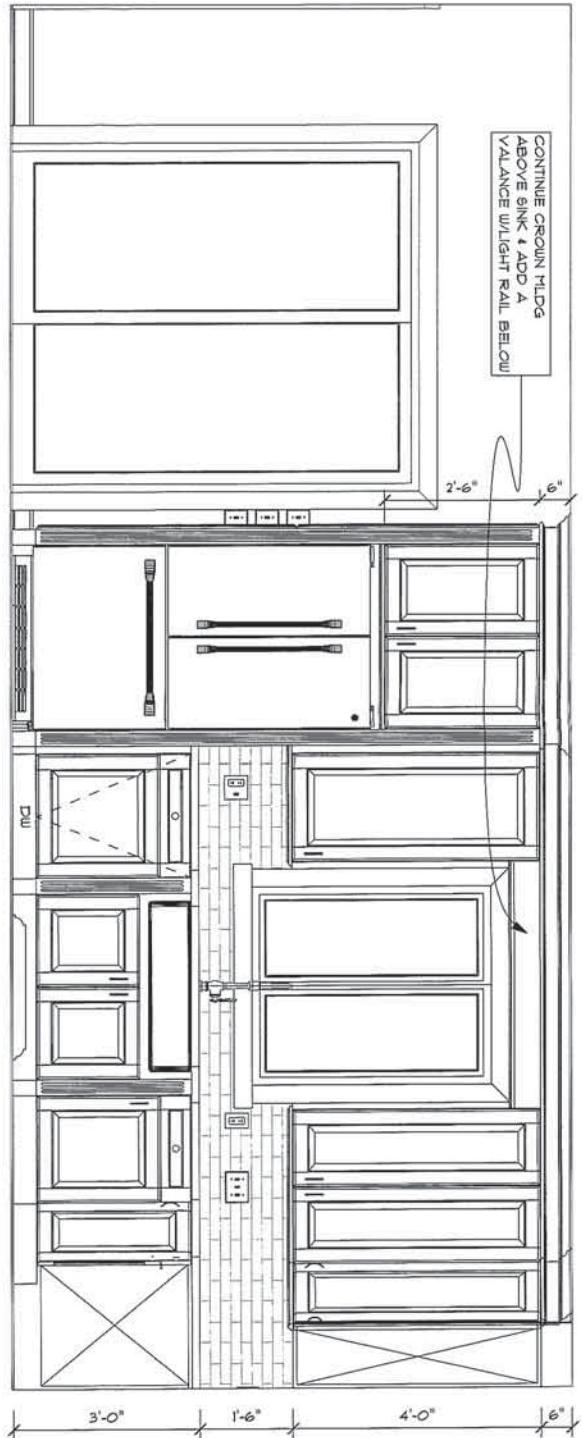


BACKSPASH TILE:
 MFRGR: SENNICA
 SERIES: SENNICA SUNSET
 COR: SMOKE
 SIZE: 2X4X8"
PATTERN: STAGGERED
GROUT: LATICRETE EPOXY #12
 COLOR: T.B.D.

MEDALLION ABOVE STOVE:
 MFRGR:
 SERIES:
 COLOR:

GROUT: LATICRETE EPOXY #12
 COLOR: T.B.D.

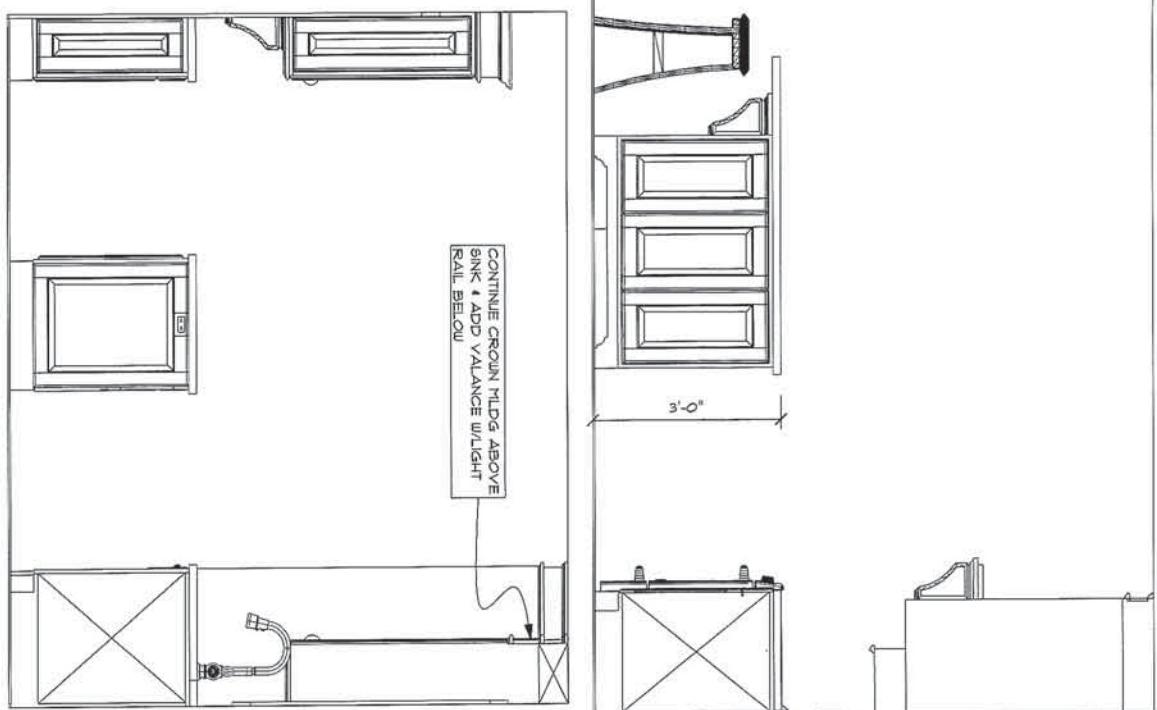
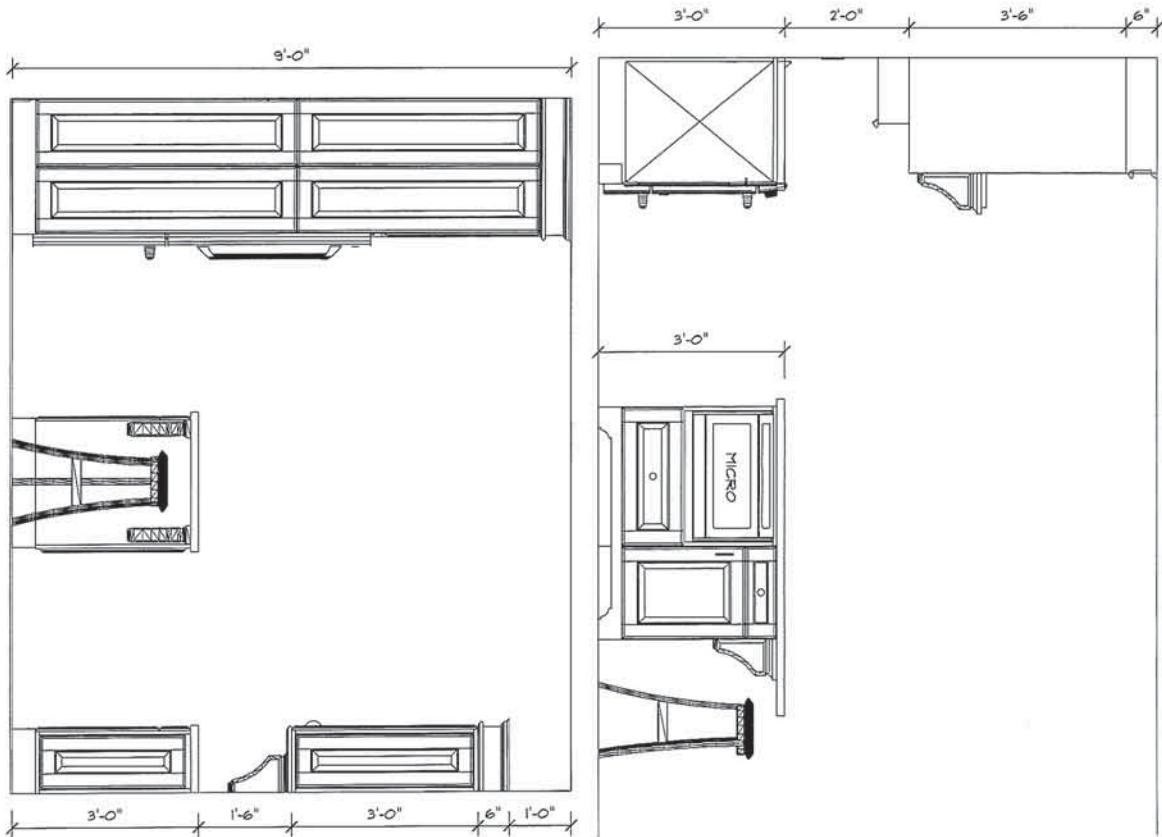
CONTINUE GROWN MLDG
ABOVE SINK & ADD A
VALANCE W/LIGHT RAIL BELOW



REVISION DATE

PROPOSED ELEVATIONS

SCALE: 1/2" = 1'-0"



GCD Construction, Inc.
6530 Derry Street
Harrisburg, PA 17111
Phone: (717) 564-3039
Fax: (717) 564-7523
www.deimlerfamilyconstruction.com



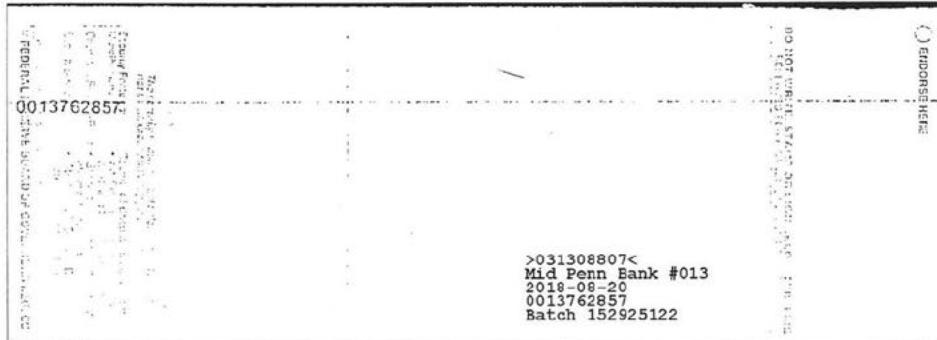
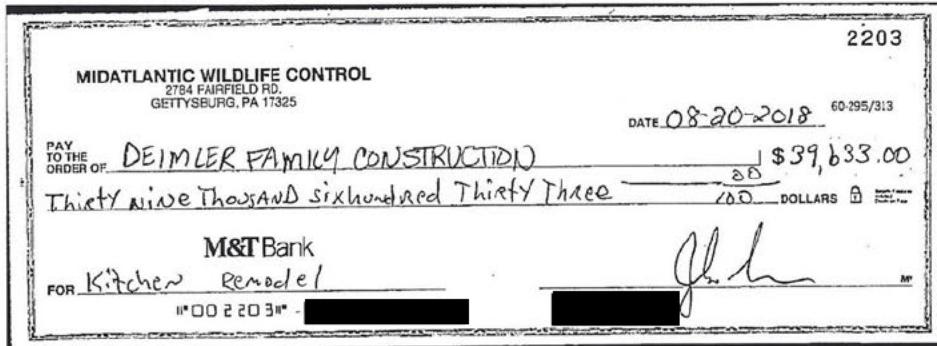
Invoice

Invoice #: 5707-7666
Invoice Date: 08/20/2018

| MAILING ADDRESS | HIC Reg. # PA000005 | JOB ADDRESS |
|---|---------------------|--|
| Simpkins, John & Cindy Kramer 2784 Fairfield Road Gettysburg, PA 17325 Home Phone: (717)353-6143 | | Simpkins, John & Cindy Kramer 2784 Fairfield Road Gettysburg, PA 17325 Job Phone: (717)353-6143 |

| Job Number | Due Date | Terms | Lead Assigned |
|------------|------------|------------------|---------------|
| 5707 | 08/20/2018 | Due Upon Receipt | |

| Qty | Description | U/Price | Reference | Amount | Balance |
|---------------|--------------------------------|-------------|-----------|--------------|-------------------------------------|
| 1.00 | CP/5707-7666 - Upon Acceptance | \$36,608.04 | CP/5707 | \$36,608.04 | \$36,608.04 |
| 0.00 | Payment (Ref. # 2203) | \$0.00 | 2203 | -\$36,508.00 | \$100.04 |
| Notes: | | | | | TOTAL <u><u>\$100.04</u></u> |



Posting Date 2018 Aug 21

Research Seq # 8007349959

Account # [REDACTED]

Check/Store # 2203

DB/CR DB

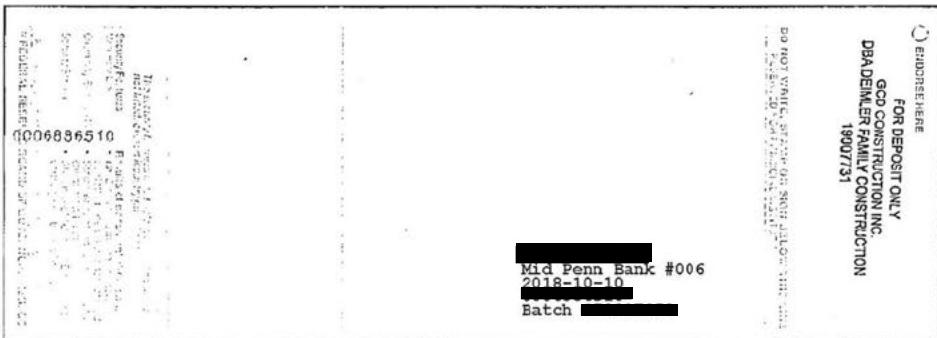
Dollar Amount \$39,633.00

Bank # 096

Branch # 06489

Deposit Acct # 0

Record Type # 01



Posting Date 2018 Oct 11

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Account # [REDACTED]

Check/Store # 2233

DB/CR DB

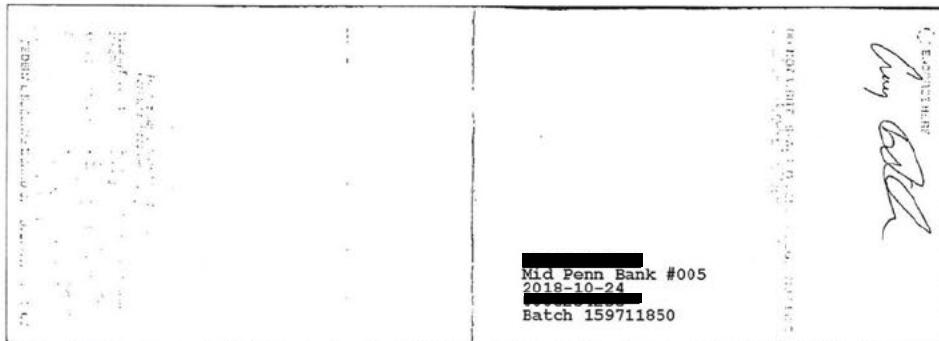
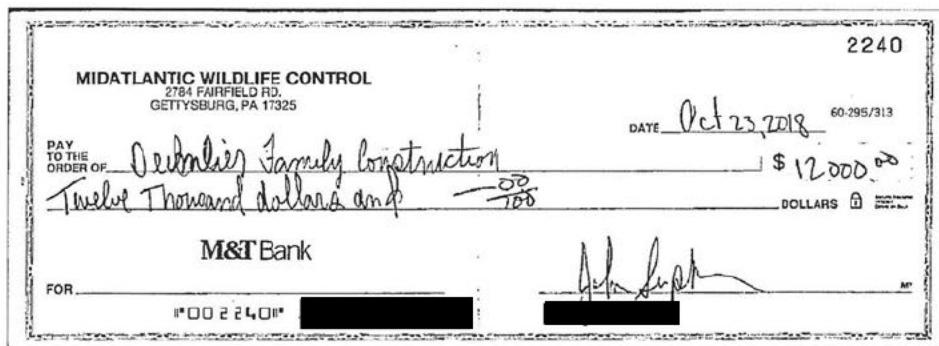
Dollar Amount \$12,000.00

Bank # 096

Branch # 06489

Deposit Acct # 0

Record Type # 01



Posting Date 2018 Oct 25

Research Seq # [REDACTED]

Account # [REDACTED]

Check/Store # 2240

DB/CR DB

Dollar Amount \$12,000.00

Bank # 096

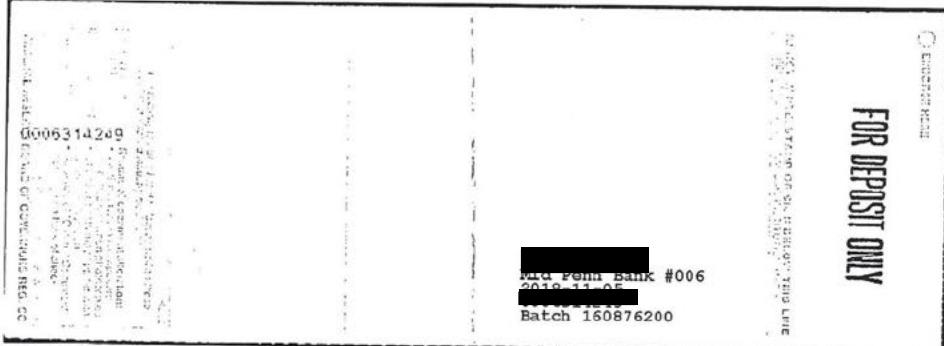
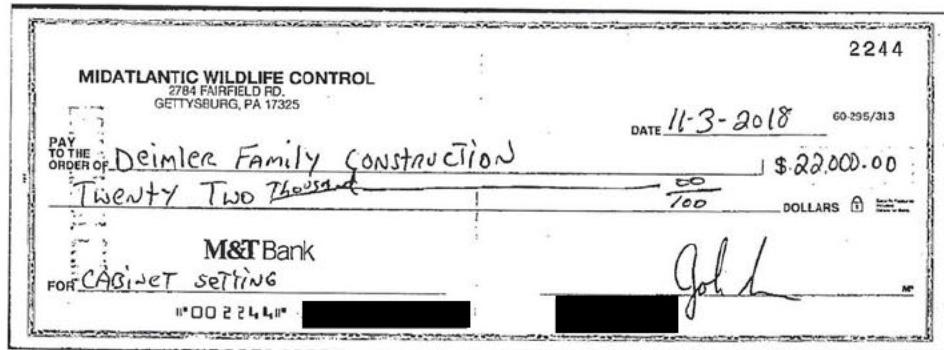
Branch # 06489

Deposit Acct # 0

Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019



Posting Date 2018 Nov 06

Research Seq # [REDACTED]

Account # [REDACTED]

Check/Store # 2244

DB/CR DB

Dollar Amount \$22,000.00

Bank # 096

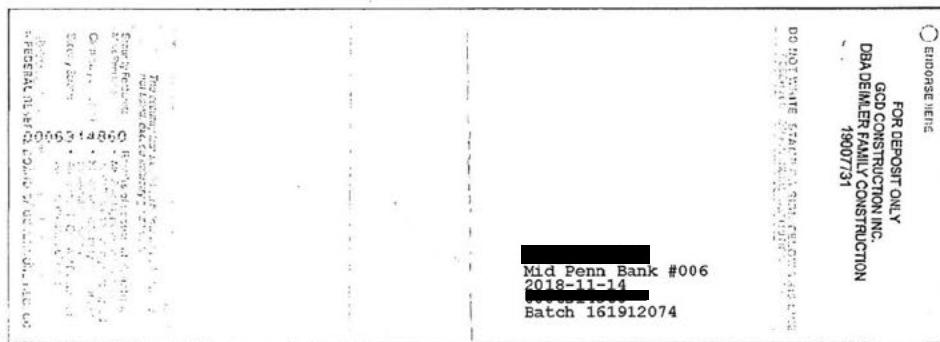
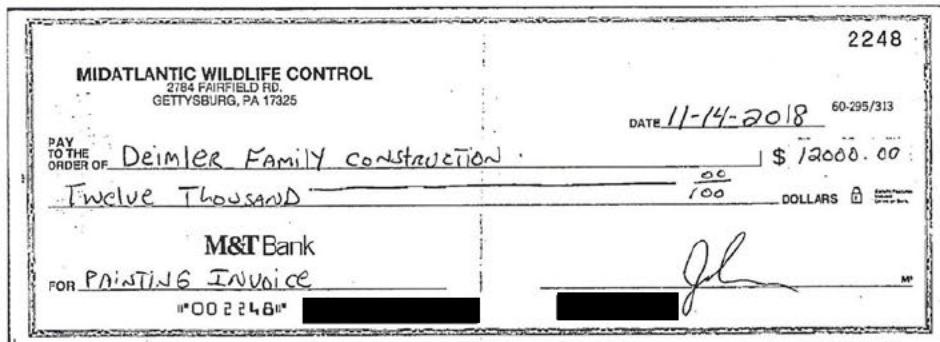
Branch # 06489

Deposit Acct # 0

Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019



Posting Date 2018 Nov 15

Research Seq # [REDACTED]

Account # [REDACTED]

Check/Store # 2248

DB/CR DB

Dollar Amount \$12,000.00

Bank # 096

Branch # 06489

Deposit Acct # 0

Record Type # 01

<http://cta-lwbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019